



Keith  
Ashton

Cornwall Road, Pilgrims Hatch  
Brentwood



## 42 CORNWALL ROAD Pilgrims Hatch Brentwood, CM15 9LX

Guide Price £400,000 - £425,000

\*\*Guide Price - £400,000 - £425,000\*\* Offered for sale with no onward chain is this spacious and well presented two bedroom end-of-terrace property. Enjoying a corner plot with the potential to further extend and develop subject to planning. The property has been extended to afford two reception rooms and a separate kitchen on the ground floor, with two bedrooms and a family bathroom to the first. Externally there is a detached double garage and off-street parking.

- Two Double Bedrooms
- Potential to Extend (STPP)
- Two Reception Rooms
- Modern Bathroom
- Double Garage & Parking
- Separate Kitchen
- Corner Plot
- No Onward Chain



## Description

The internal accommodation commences with an enclosed porch that leads through to the bright and spacious sitting room, overlooking the rear of the property. From here, a doorway leads through to the extended dining room which has a pair of double doors providing access to the rear garden.

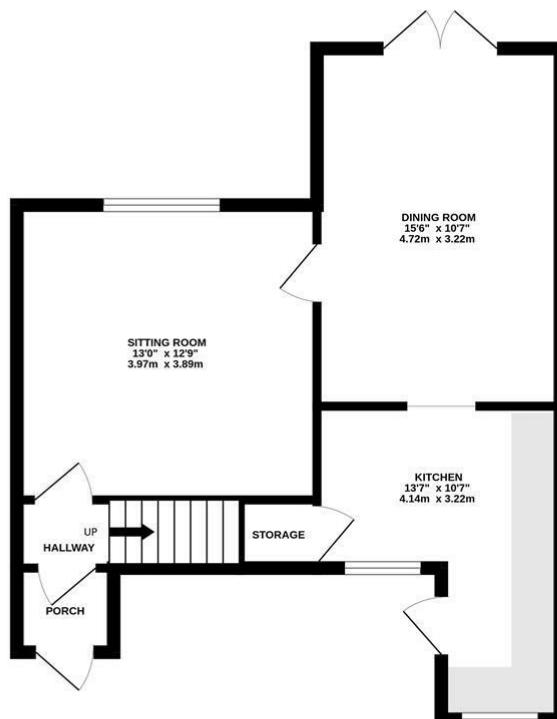
The kitchen is located towards the front of the property and comprises a range of above and below counter storage units, ample worktop space and various integrated appliances. There is also a door providing access to the front of the property.

Heading upstairs, there are a pair of spacious double bedrooms, each with plenty of storage space, in addition to a contemporary family bathroom. There is also loft access from the landing via a hatch.

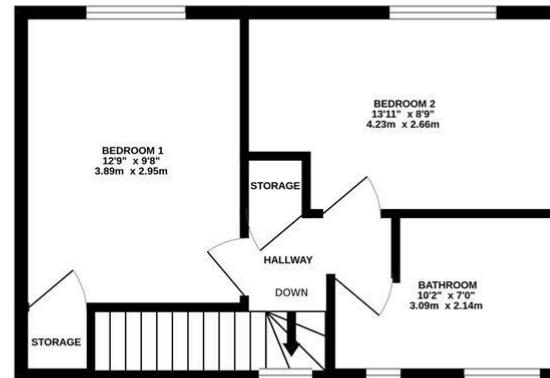
Externally, the property enjoys a sizeable wrap-around garden with a predominantly westerly aspect. The garden is laid principally to lawn with well stocked shrub borders. The garden lends plenty of potential to further extend the property subject to planning. Finally, there is a separate double garage to the rear of the garden with a driveway in front providing off-street parking.



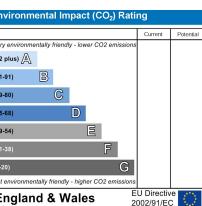
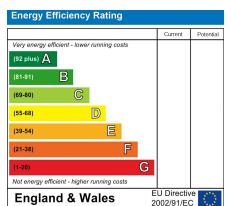
GROUND FLOOR  
492 sq.ft. (45.7 sq.m.) approx.



1ST FLOOR  
371 sq.ft. (34.4 sq.m.) approx.



TOTAL FLOOR AREA : 862 sq.ft. (80.1 sq.m.) approx.  
Measurements are approximate. Not to scale. Illustrative purposes only  
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#### SERVICES:

Local Authority: Brentwood  
Council tax band: C  
Post code: CM15 9LX

#### VIEWING:

Strictly by prior arrangement with Keith Ashton Estate Agents

#### OPENING HOURS:

Monday to Friday: 8.45AM - 6.30PM | Saturdays: 9AM - 5.30PM | Sundays: 10AM - 2PM

**MORTGAGE INFORMATION:** We offer the additional facility of an in-house Independent Financial Adviser who will access all mortgage lenders with the purpose of providing you with the benefit of choice. For quotations or comparables please call 01277 260858 or visit our interactive website at [www.mortgagebusiness.net](http://www.mortgagebusiness.net)

We the Agent have not tested any apparatus, fittings or services for this property. The plot size is intended merely as a guide and has not been officially measured or verified by the Agent. Photographs are for illustration only and may depict items which are not for sale or included in the sale of the property. As part of the service we offer we may recommend ancillary services to you which we believe may help you with your property transaction. We wish to make you aware, that should you decide to use these services we will receive a referral fee. For full and detailed information please visit 'terms and conditions' on our website [www.keithashton.co.uk](http://www.keithashton.co.uk)

